

MISSION STATEMENT: “The City of Mound, through teamwork and cooperation, provides, at a reasonable cost, quality services that respond to the needs of all citizens, fostering a safe, attractive and flourishing community.”

**MOUND PLANNING COMMISSION
SPECIAL/RESCHEDULED MEETING AGENDA
TUESDAY, OCTOBER 6, 2020, 7:00 P.M.**

NEW LOCATION:

DUE TO THE COVID 19 PANDEMIC AND TO ALLOW FOR SOCIAL DISTANCING, BEGINNING JULY 14TH THROUGH NOVEMBER 10TH, MOUND CITY COUNCIL AND MOUND PLANNING COMMISSION MEETINGS ARE BEING HELD IN-PERSON AT THE WESTONKA SCHOOLS PERFORMING ARTS CENTER (PAC) LOCATED AT 5905 SUNNYFIELD ROAD IN MINNETRISTA, MN

	Page
1. Call to Order	
2. Roll Call	
3. Approval of Agenda, with any Amendments	
4. Approval of Meeting Minutes	
A. September 1, 2020 regular meeting	1
B. September 15, 2020 special meeting	3
5. Board of Adjustment and Appeals	
A. <u>Planning Case No. 20-18</u> Variance for new house construction on existing parcel included in property addressed at 3325 Warner Lane in bluff/bluff setback Applicant: Wausau Homes Anoka Owners: KA & JE Clark	6
6. Old / New Business	
A. Request and Recommendation to Cancel Special / Rescheduled Meeting on Tuesday, October 20 2020 at 7:00 p.m. that was previously set at July 7, 2020 Planning Commission meeting due to Nite to Unite which is cancelled for 2020	
B. City Council Liaison and Staff Project Update / Report	
7. Adjourn	

The Planning Commission is an advisory body to the City Council. One of the Commission’s functions is to hold public hearings and make recommendations to the City Council. The City Council makes all final decisions on these matters. Mound City Ordinances require that certain documents and information be included in applications. The Planning Commission may postpone consideration of an application that is incomplete and may for other reasons postpone final action on an application. For each agenda item the Commission will receive reports prepared by the City staff, open the hearing to the public, and discuss the action on the application.”

QUESTIONS: Call Jen at 952-472-0603 or Sarah at 952-472-0604

MINUTES
MOUND ADVISORY PLANNING COMMISSION
SEPTEMBER 1, 2020

CALL TO ORDER

Vice Chair Goode called the meeting to order at 7:00 pm

ROLL CALL

Members Present: Sue Pilling, Kevin Castellano, Jake Savstrom, Vice Chair David Goode, Jason Baker, Sherrie Pugh, Staff Present: Community Development Director Sarah Smith, Consultant Planner Rita Trapp. Members of the Public Present: Eric and Ashley Jahnke, 5381 Baywood Shores Drive; Kelli Gillespie Coen, 5361 Baywood Shores Drive; and Dara Lifson, 5395 Baywood Shores Drive.

APPROVAL OF THE AGENDA, WITH ANY AMENDMENTS

MOTION by Baker to approve the agenda with an amendment to include a Staff Memorandum recommending Planning Commission action on motion for Vice Chair to preside during the remaining Planning Commission meetings in 2020 meetings; seconded by Savstrom. **MOTION** carried unanimously.

MOTION by Baker to approve Vice Chair Goode preside over the Planning Commission through 2020; seconded by Pilling. **MOTION** carried unanimously.

MOTION by Savstrom to approve the remainder of the agenda; seconded by Baker. **MOTION** carried unanimously.

APPROVAL OF MEETING MINUTES

MOTION by Savstrom to approve the meeting minutes for July 7, 2020 as written; seconded by Baker. **MOTION** carried unanimously.

MOTION by Savstrom to approve the meeting minutes for July 21, 2020 as written; seconded by Baker. **MOTION** carried unanimously.

BOARD OF APPEALS

Planning Case No. 20-16

Variance for house remodel/addition project at 5381 Baywood Shores Drive

Applicant: Eric Jahnke on behalf of Jahnke Living Trust

Trapp presented the Planning Report and provided an overview of the variance application. The request is for a front yard and side yard variance to allow for a multi-story addition on the lakeshore lot. Trapp noted that the lot is currently nonconforming to the lake and the east side yard setback. This, along with the slope of the lot and the placement of the house on the lot limit options for an addition. Trapp and Smith fielded questions from the commissioners.

Applicant, Eric Jahnke, 5381 Baywood Shores Drive, addressed the discussion questions from the commissioners. Mr. Jahnke noted that the proposed cantilever on the west side was intended add architectural interest to that side of the house. The cantilever is located 9 feet, 8 inches in the air so

the 3-inch request should not be too noticeable. He noted that the hardcover calculations submitted included the deck, which has ¼ inch spacing and does not have to be included. Thus, the amount of hardcover on the site will actually be less than noted. He expressed a willingness to work with his landscaper and contractor to explore options to improve drainage and run-off.

Kelli Gillespie, 5361 Baywood Shores Drive, is the applicant's neighbor and expressed her support for the project. Ms. Gillespie noted that she had completed a renovation project in 2017 that also resulted in a shortened driveway and it has not been of a concern.

Dara Lifson, 5395 Baywood Shores Drive, applicant's neighbor commented that she is okay with the project.

MOTION by Baker to approve Planning Case 20-16, including staff recommendations 1-7 and findings of facts 1-4, seconded by Savstrom. **MOTION** carried unanimously.

OLD/NEW BUSINESS

- A. Request and Recommendation to Schedule Special Meeting for Tuesday, September 15, 2020 at 7:00 p.m. at Westonka PAC for review of land use/subdivision applications and 2020 Planning Commission project/work plan.

MOTION by Baker to schedule a special meeting for Tuesday, September 15, 2020, seconded by Savstrom. **MOTION** carries unanimously.

- B. Request and Recommendation to Reset/Schedule Tuesday, October 6, 2020 regular meeting that was previously cancelled for rescheduled Nite to Unite activities in Mound as Nite to Unite special event is cancelled for 2020.

MOTION by Baker to reschedule the Tuesday, October 6, 2020 regular meeting, seconded by Savstrom. **MOTION** carries unanimously.

- C. Planning Commission Term Expirations and Vacancy. Smith outlines the Planning Commission terms for Sue Pilling, Drew Heal, Jason Baker are expiring along with the resignation of Chair David Pelka will leave 4 potential vacancies. Staff will coordinate with current commissioners who will continue on the Planning Commission for additional terms.

- D. City Council Liaison and Staff Project Update / Report. Smith outlines project updates including the denial of Commerce Place requests, construction projects are continuing in this busy construction season and looking to bring forth zoning amendments soon. No comments from Pugh.

ADJOURN

MOTION by Savstrom to adjourn at 7:33 p.m., seconded by Baker. **MOTION** carried unanimously.

MINUTES
MOUND ADVISORY PLANNING COMMISSION
SEPTEMBER 15, 2020

1. CALL TO ORDER

Vice Chair David Goode called the meeting to order at 7:00 pm

2. ROLL CALL

Members Present: Sue Pilling, Jake Savstrom, Vice Chair David Goode, Jason Baker, Sherrie Pugh, Staff Present: Community Development Director Sarah Smith, Secretary Jen Holmquist. Members of the Public Present: Rolf Markstrom, Tim Lembke, Anne Latour, Bill Latour

3. APPROVAL OF MEETING AGENDA

MOTION by Baker to approve the agenda with an amendment to add the Staff Memorandum dated September 15, 2020 that includes additional information for Agenda Item No. 4A; seconded by Pugh.

MOTION carried unanimously.

4. BOARD OF ADJUSTMENT AND APPEALS

A. Planning Case No. 20-17

Variance for lack of improved frontage on public road for property 5234 Lynwood Boulevard

Applicant: Rolf and Andrea Markstrom

Owner: Tim Lembke

Smith introduced Planning Case 20-17, a request for a variance for the subject property to address the existing condition of lack of frontage on a public road for the existing lot.

The property is located on the west side of a private road which has access to Lynwood Blvd. The property is owned by Tim Lembke and will be purchased by Rolf and Andrea Markstrom.

The property is zoned R-2, which allows for single and two-family homes. The applicants intend to build a conforming single family home. Smith noted the property is fronted on the east side by the private road which extends to Lynwood Boulevard which is a city improved public roadway. On the west, or rear side of the property is Morton channel which extends to Lake Minnetonka.

The private road was formerly known as Laurel Road and previously vacated. The subject area has had several lot combinations and subdivisions in the late 1900s / early 2000s. Currently there are homes, plus the subject property that have access on the private road.

The subject property is a non-lot of record. The preliminary assigned setbacks is 20 feet from the edge of the private road at the front. On the west side, the appropriate setback to be assigned will be the greater of 50 feet from the Ordinary High Water Level (OHWL) of Lake Minnetonka or 15-foot rear setback. Maximum hardcover allowance is 30%.

The future structure will need to be constructed a minimum of 20 feet from the constructed road and also located outside of the roadway easement. The City Attorney confirmed that this property is provided a 20-foot easement through a recorded document affirming there is lawful access over the adjacent property at 5240 Lynwood Blvd to the property from Lynwood Boulevard

A driveway maintenance agreement between the neighboring property owners was provided to the City on September 15th by the property owner. The City Attorney confirmed that this is a private road that is not maintained by the City and City does not need to be a party to the agreement. The agreement includes provisions about snow removal and maintenance activities on the private road for the involved property owners.

While the property does abut Morton Channel, the variance application does not include dock or dredge request. Preliminary analysis by Staff is that such an application would not be supported.

Water and sewer trunk area charges, water and sewer connection fees and MCES SAC charges will be required. Since this is not a subdivision, there would be no park dedication fee.

The application was routed to Staff and consulting agencies for review. CenterPoint Energy noted that a gas main, located in the vicinity needs to be protected. MCWD noted that work below the 100-year floodplain of 931.5 will require floodplain alteration including compensation. Additionally, future house construction or site alteration activities would trigger a 25-foot native buffer requirement to the wetland boundary. Staff also commented on the wetland boundary determination undertaken in 2018.

Staff recommended Planning Commission recommends City Council approval of the variance for lack of improved frontage on a public road for the property subject to the conditions as there is lawful access.

Smith asks for questions from the Commission.

Savstrom asks if the variance only includes the driveway variance. Smith confirms the variance is for lack of public access as the property does have access through a private road. Savstrom also asks about the remediation information in the planning report. Smith explains that was provided as background information about the subject area.

Baker asks if the setbacks are defined based on Lynwood. He points out typically the front is the street. Smith says that for this project it is Staff's opinion that the front is the portion of the lot that abuts the private road. Baker wonders if that distinction should be included in the findings of fact. Smith says that clarification can be added. Baker notes that the application states the applicants are simultaneously seeking a CUP. Smith explains that previously the lot was requested to be subdivided the city did not approve a subdivision but the lot became split by an action outside of the City's control. As a previous application included a subdivision, a CUP was required for the private road. However, since the existing lot is not part of a subdivision, the CUP was not required and has been withdrawn.

Goode asks if the applicant is present.

Rolf Markstrom 5023 Edgewater Drive. He asks about the easement and setback. Smith says the setback refers to the structure and that a driveway crossing over the roadway easement would be considered normal and customary similar to a road.

Goode asks if anyone in attendance has questions for the owner or Staff.

Bill Latour, 5220 Lynwood Blvd - He inquired how damage to the private road or utilities will be remedied. Smith notes that the Driveway Maintenance Agreement states that damage on the private road will be the responsibility of the private entities. The party who caused the damage would be responsible for repairs. Mr. Latour asked if "they" means a construction company or the property owners are responsible. Smith explains that the Cty will work closely with the applicant and the contractor for the new construction to do due diligence and make sure that is clearly determined prior to issuing a building permit. Mr. Latour also inquired about possible project schedule as he has a cable line request to Mediacom for the over ground line to be buried that has not been completed.

Goode asks for additional comments from the audience or from the Commissioners.

MOTION by Baker to approve the variance, including Staff recommendations and findings of facts and conditions to include additional language that the east side of the property be deemed the front; seconded by Savstrom. **MOTION** carries unanimously.

5. ADJOURN

MOTION by Baker to adjourn at 7:29 p.m., Seconded by Savstrom. **MOTION** carried unanimously.

Prepared by Jen Holmquist.



PLANNING REPORT

TO: Planning Commission
FROM: Rita Trapp and Laura Chamberlain, Planning Consultants
 Sarah Smith, Community Development Director
DATE: October 1, 2020
PLANNING CASE NO. 20-18 Variance Application
APPLICANT: Wausau Homes Anoka
OWNERS: KA & JE Clark
LOCATION: 3325 Warner Lane (PID 25-117-24-21-0126)
MEETING DATE: October 6, 2020
COMPREHENSIVE PLAN: Low Density Residential
ZONING: R-1 Single-Family Residential

BACKGROUND

The applicant, Wausau Homes Anoka, on behalf of the property owners, KA and JE Clark, has submitted an application for a variance to build a new home within the bluff/bluff setback on an existing shoreland lot on the west side of Warner Lane. The existing lot, totaling 13,642 square feet, is a residential lot that has previously been used in conjunction with the adjacent lot. The current owners also own 2 adjacent parcels to the north and have it used it as an accessory lot to access a water-oriented accessory structure and now wants to develop the lot to include a new home to be constructed. The applicant is proposing a two-story, three-bedroom home with a walk out and two car garage.

REVIEW PROCEDURE

Variance

City Code Section 129-39 (a) states that a variance may be granted to provide relief to a landowner where the application of the City Code imposes practical difficulty for the property owner. In evaluating the variance the City Council must consider whether:

- (1) The variance proposed meets the criteria for Practical Difficulties as defined in City Code Sub. 129-2.
- (2) Granting of the variance requested will not confer on the applicant any special privilege that is denied by this chapter to owners of other lands, structures or

buildings in the same district nor be materially detrimental to property within the same zone.

- (3) The variance requested is the minimum variance which would alleviate the practical difficulty.
- (4) A variance shall only be permitted when it is in harmony with the general purposes and intent of the zoning ordinance and when the terms of the variance are consistent with the comprehensive plan.

According to City Code Sec. 129-2, "*Practical Difficulties*" is defined as follows:

Practical Difficulties, as used in conjunction with a variance, means that:

- (i) The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance;
- (ii) The plight of the landowner is due to circumstance unique to the property including unusual lot size or shape, topography or other circumstances not created by the landowner; and
- (iii) The variance, if granted, will not alter the essential character of the locality.

Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.

60-DAY PROCESS

Pursuant to Minnesota State Statutes Section 15.99, the City of Mound has sixty (60) days to approve or deny the land use request unless an extension is executed by the City in accordance with state rules. Minnesota Statutes 645.15 sets forth the procedures for determining "Day 1" for the purpose of application of the 60-day rule. The "Day 1" was determined to be August 20, 2020.

NOTIFICATION

Property owners abutting the subject site, per Hennepin County tax records, were mailed a letter on September 30, 2020 to inform them of the Planning Commission's review of the application at its October 6, 2020 meeting.

SITE INFORMATION

The applicant currently owns three platted lots on Warner Lane and is seeking to construct a new home on the southernmost parcel. Currently the applicant's home is located on the lot immediately to the north of the proposed new home lot. While the shoreland lot is larger than the minimum required for the R-1 zoning district, the property is impacted by a number of existing conditions. The property's width is 50 feet, which is narrower than the zoning minimum

of 60 feet in the R-1 district. However, as an existing lot of record only a 10,000 square foot requirement is needed. Of note, surrounding properties in the area also have a 50 feet width and have been developed. A significant portion of the property is within a bluff, with grades up to 53% in some places. The bluff in this area has already been historically impacted, including with retaining walls, fencing, steps, a shed, and a water oriented accessory structure. Taking into consideration the location of the bluff line, the bluff setback, and the front yard setback, the amount of buildable space on this lot of record is very limited and could not be achieved without some sort of variance.

The applicant has proposed a new home on the property that meets all setback standards except for setback from the top of bluff, as the proposed structure is within the bluff zone. Due to the lot limitations, the applicant is requesting a variance from the 10 foot bluff setback requirement.

Requirements	R-1 Requirements	Proposed
Lot Area	10,000 sq. ft.	13,642 sq. ft (existing)
Lot Width	60 feet	50.54 feet (existing)
Front Yard (E)	30 feet	30 feet
Side Yard (N)	6 feet	9.0 feet
Side Yard (S)	10 feet	10.1 feet
Lakeshore (W)	50 feet	169+ feet
Bluff	10 feet	0 feet
Hardcover	40% (5,456 sq. ft.)	27.6% (3,768 sq. ft.)

STAFF/CONSULTANT/AGENCY REVIEW

Copies of the request and supporting materials were forwarded to involved City Departments and affected public agencies for review and comment. Staff did not receive any concerns to date about the proposed variance.

DISCUSSION

- The plans for the proposed structure have placed the home as close to the top of the bluff as it could be while still maintaining front and side yard setback standards for the R-1 district. Without the variance the applicant would not be able to construct a home on the existing lot of record.
- The image on the next page shows the 2-foot contours in the project’s vicinity. Staff notes that building in the bluffs has occurred historically throughout the City and that this property has already impacted the bluff through previous site development activities.
- The plans show that the existing shed, concrete pad, and retaining wall will be removed as part of the proposed project.

- The applicant has provided the City with plans for a retaining wall along the northern side yard to facilitate the building of the structure on the bluff. Structural evaluation and approval of these plans will be required by the Building Official and City Manager/Public Works Director.
- The applicant is not proposing any changes to the existing water-oriented accessory structure on the property. It should be noted that any future changes to this structure will require its own application with the City.



- The applicant has shown a rain garden in the front yard of the site. The applicant is advised that stormwater management for the site will need to be approved by the City Manager/Public Works Director.
- The adjacent property to the north has a driveway and wood retaining walls that cross the boundary. The applicant is advised that an access easement between the two properties will be required.
- The adjacent property to the south has a stair/walkway to the lake that also encumbers the property. The applicant is advised that an access easement should be obtained.
- The applicant has indicated that the proposed home will be 32.5 feet in height, which is proposed to have a shed roof. This will be confirmed as part of the building permit process.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission recommend that the City Council approve the bluff setback variance for this site subject to the following conditions:

1. Structural plans for any retaining walls on the property shall be reviewed and approved by the City Manager/Public Works Director.
2. Stormwater management plans shall be reviewed and approved by the City Manager/Public Works Director.
3. All utility connections are solely the responsibility of the private owner and will remain under the private ownership of the property. Extension of municipal utilities is neither implied or expressed in any approval of the variance.
4. No future approvals of any changes or improvements to the water oriented accessory structure is included as part of this action.
5. Applicant shall be responsible for payment of all costs associated with the land use request.
6. No future approval of any development plans and/or building permits is included as part of this action.
7. Applicant shall provide all required information upon submittal of the building permit application.
8. Applicant shall be responsible for procurement of any and/or all local or public agency permits including, but not limited to, the submittal of all required information prior to building permit issuance.
9. The applicant shall be responsible for recording the resolution with Hennepin County. The applicant is advised that the resolution will not be released for recording until all conditions have been met.
10. No building permit will be issued until evidence of recording of the resolution at Hennepin County is provided unless an escrow of sufficient amount is on file with the City. The applicant may also direct the City to record the resolution with the fees to be taken out of the escrow.
11. Applicant is directed to contact the MCWD related to wetlands, floodplain, erosion control, shoreline stabilization and other regulations that may apply and require permitting to undertake the proposed project. Evidence from the MCWD in the form of a permit or waiver must be provided before release of any future building permi

In recommending Staff approval of the variance, the following findings of fact are offered:

1. The criteria of City Code Section 129-39 (a) are being met.
2. Improvements to the residential use of this property are in keeping with how it is zoned and guided in the comprehensive plan and will not change the existing neighborhood character.
3. It is reasonable for a residential structure to be built on a lot of record, and given the challenging topography and the setbacks from the street, the property owner is limited on where they can build a structure.
4. The location of the top-of-bluff on the property means that any building on this lot of record would interfere with the bluff setback.

CITY COUNCIL REVIEW

In the event a recommendation is received from the Planning Commission, it will be forwarded to the City Council for action at an upcoming meeting. At this time, the possible meeting date is October 13, 2020. The alternate meeting date would be October 27, 2020.



2415 Wilshire Boulevard, Mound, MN 55364
 Phone 952-472-0600 FAX 952-472-0620

VARIANCE APPLICATION

Application Fee and Escrow Deposit required at time of application.

Planning Commission Date _____

Case No. _____

City Council Date _____

Please type or print legibly

SUBJECT PROPERTY LEGAL DESC.	Address <u>3325 Warner Lane</u>	
	Lot <u>057</u>	Block <u>N/A</u>
	Subdivision <u>Whipple Shores</u>	
	PID # <u>25-117-24-21-0126</u> Zoning: <input checked="" type="radio"/> R1 R1A R2 R3 B1 B2 B3 (Circle one)	
PROPERTY OWNER	Name <u>KA & JE Clark</u> Email <u>lmkmorgan@live.com</u>	
	Address <u>3325 Warner La</u>	
	Phone Home <u>952-220-0745</u>	Work _____ Fax _____
APPLICANT (IF OTHER THAN OWNER)	Name <u>Wausau Homes Anoka</u> Email <u>zeckmeisterb@wausauhomes.</u>	
	Address <u>2850 Cutters Grove Ave, Anoka, MN 55303</u>	
	Phone Home <u>763-244-4518</u>	Work <u>763-354-6121</u> Fax _____

1. Has an application ever been made for zoning, variance, conditional use permit, or other zoning procedure for this property? Yes () No (●). **If yes**, list date(s) of application, action taken, resolution number(s) and provide copies of resolutions.

2. Detailed description of proposed construction or alteration (size, number of stories, type of use, etc.):

New construction principle residence, 2 story, 1800 SF

3. Do the existing structures comply with all area, height, bulk, and setback regulations for the zoning district in which it is located? Yes () No (●). If no, specify each non-conforming use (describe reason for variance request, i.e. setback, lot area, etc.):

Set back of accessory building from OHW level

SETBACKS:	REQUIRED	REQUESTED (or existing)	VARIANCE
Front Yard: (N S E W)	_____ ft.	_____ ft.	_____ ft.
Side Yard: (N S E W)	_____ ft.	_____ ft.	_____ ft.
Side Yard: (N S E W)	_____ ft.	_____ ft.	_____ ft.
Rear Yard: (N S E W)	_____ ft.	_____ ft.	_____ ft.
Lakeside: (N S E W)	_____ ft.	_____ ft.	_____ ft.
_____ : (N S E W)	_____ ft.	_____ ft.	_____ ft.
Street Frontage:	_____ ft.	_____ ft.	_____ ft.
Lot Size:	_____ sq ft	_____ sq ft	_____ sq ft
Hardcover:	_____ sq ft	_____ sq ft	_____ sq ft

4. Does the present use of the property conform to all regulations for the zoning district in which it is located? Yes (), No (●). If no, specify each non-conforming use:

The build-able portion of the lot is 50' wide and is within a bluff zone

5. Which unique physical characteristics of the subject property prevent its reasonable use for any of the uses permitted in that zoning district?

too narrow
 too small
 too shallow

topography
 drainage
 shape

soil
 existing situation
 other: specify

Please describe: Lot is 50' wide, less than the R1 zoning code of 60'.

Build-able portion of lot is within bluff type topography.

Case No. _____

6. Was the practical difficulty described above created by the action of anyone having property interests in the land after the zoning ordinance was adopted (1982)? Yes (), No (●) **If yes, explain:**

7. Was the practical difficulty created by any other human-made change, such as the relocation of a road? Yes (), No (●) **If yes, explain:**

8. Are the conditions of practical difficulty for which you request a variance peculiar only to the property described in this petition? Yes (), No (●) **If no, list some other properties which are similarly affected?**

There are five adjacent properties with houses on lots with a width of 50 ft.

There are four adjacent properties with houses built on bluff type topography.

9. Comments: _____

I certify that all of the above statements and the statements contained in any required papers or plans to be submitted herewith are true and accurate. I acknowledge that I have read all of the variance information provided. I consent to the entry in or upon the premises described in this application by any authorized official of the City of Mound for the purpose of inspecting, or of posting, maintaining and removing such notices as may be required by law.

Owner's Signature Keith A Clark Janice E Clark
Keith A Clark Janice E Clark (May 28, 2020 16:18 CDT)

Date May 28, 2020

Applicant's Signature Ben Zeckmeister
Ben Zeckmeister (May 29, 2020 09:49 CDT)

Date May 29, 2020



HARDCOVER CALCULATIONS

(IMPERVIOUS SURFACE COVERAGE)

PROPERTY ADDRESS: _____

OWNER'S NAME: _____

LOT AREA _____ SQ. FT. X **30%** = (for all lots)

LOT AREA _____ SQ. FT. X **40%** = (for Lots of Record)

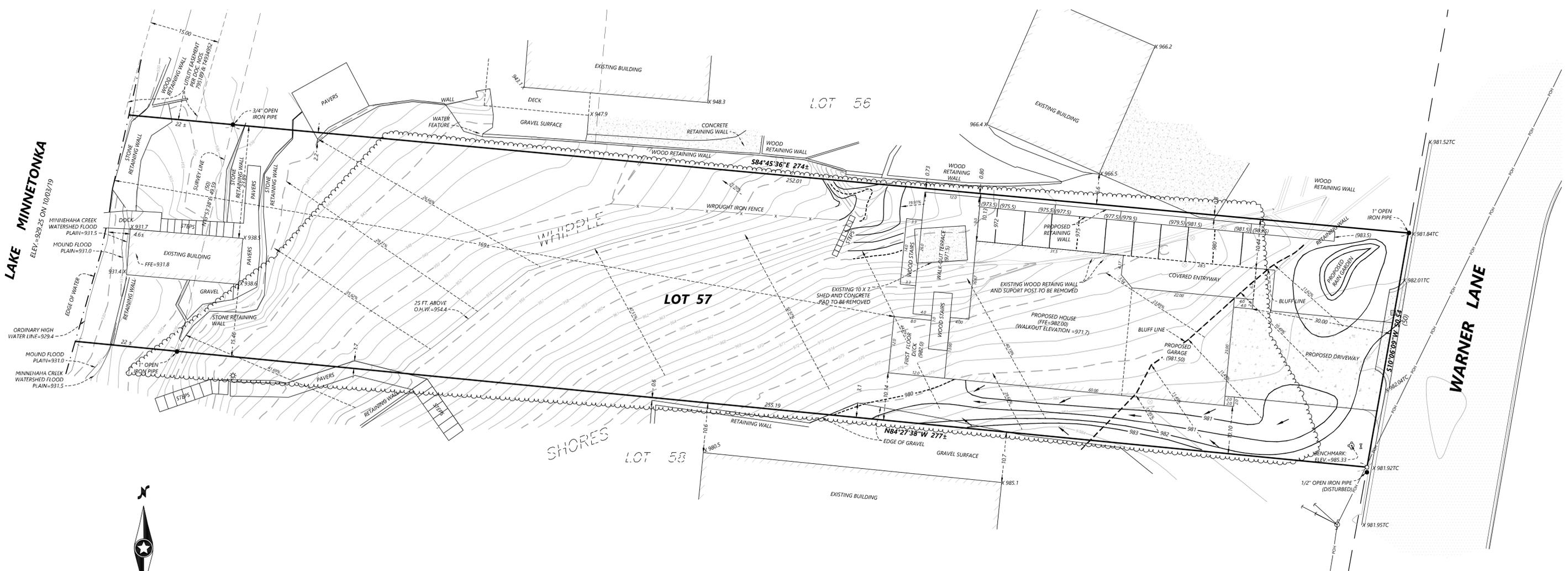
* Existing Lots of Record may have 40 percent coverage provided that techniques are utilized, as outlined in Zoning Ordinance Section 129-385 (see back). A plan must be submitted and approved by the Building Official.

	LENGTH		WIDTH		SQ FT	
HOUSE	_____	X	_____	=	_____	
	_____	X	_____	=	_____	
TOTAL HOUSE						_____
DETACHED BUILDINGS (GARAGE/SHED)	_____	X	_____	=	_____	
	_____	X	_____	=	_____	
TOTAL DETACHED BUILDINGS.....						_____
DRIVEWAY, PARKING AREAS, SIDEWALKS, ETC.	_____	X	_____	=	_____	
	_____	X	_____	=	_____	
	_____	X	_____	=	_____	
TOTAL DRIVEWAY, ETC						_____
DECKS Open decks (1/4" min. Opening between boards) with a pervious surface under are not counted as hardcover.	_____	X	_____	=	_____	
	_____	X	_____	=	_____	
	_____	X	_____	=	_____	
TOTAL DECK						_____
	_____	X	_____	=	_____	
	_____	X	_____	=	_____	
TOTAL OTHER						_____

TOTAL HARDCOVER / IMPERVIOUS SURFACE.....

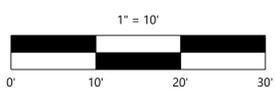
UNDER / OVER (indicate difference)

PREPARED BY Brent R Peters DATE 8-6-2020



LAKE MINNETONKA
ELEV. = 929.25 ON 10/03/19

WARNER LANE



LEGEND

⊕	HYDRANT	POH	POWER OVERHEAD
⊗	GATE VALVE	WAT	WATERMAIN
⊠	CURB STOP BOX	X	FENCE LINE
⊙	LIGHT POLE	---	CURB & GUTTER
⊖	GUY WIRE	▨	CONCRETE SURFACE
⊕	POWER POLE	▩	BITUMINOUS SURFACE
⊗	STEEL/WOOD POST	XXX.XX	SLOPE PERCENTAGE
		X (1000.00)	DENOTES PROPOSED ELEVATION
		X 1000.00	DENOTES EXISTING ELEVATION
		---	TREE LINE

LEGAL DESCRIPTION

Lot 57, WHIPPLE SHORES, according to the recorded plat thereof, Hennepin County, Minnesota.

GENERAL NOTES

- The legal description and easement information used in the preparation of this survey is based upon Certificate of Title No. 527022. Said Certificate contains additional lands.
- The orientation of this survey is based upon the Hennepin County Coordinate Grid (NAD 83-96 Adj.)
- Benchmark: Top Nut Hydrant at the southeast corner of subject property. Elevation=985.33 ft. (NGVD 1929)
- Subject property contains 13,666 Sq.Ft. or 0.314 acres to waterline / 13,642 Sq. Ft. to the O.H.W. (929.4)
- Building shown reflects 1st Floor plan, sheet A-5, Dated 03/09/2020.
- The proposed grades and contours depicted herein are pursuant to the site plan provided by Wausau Homes, dated July 13, 2020.

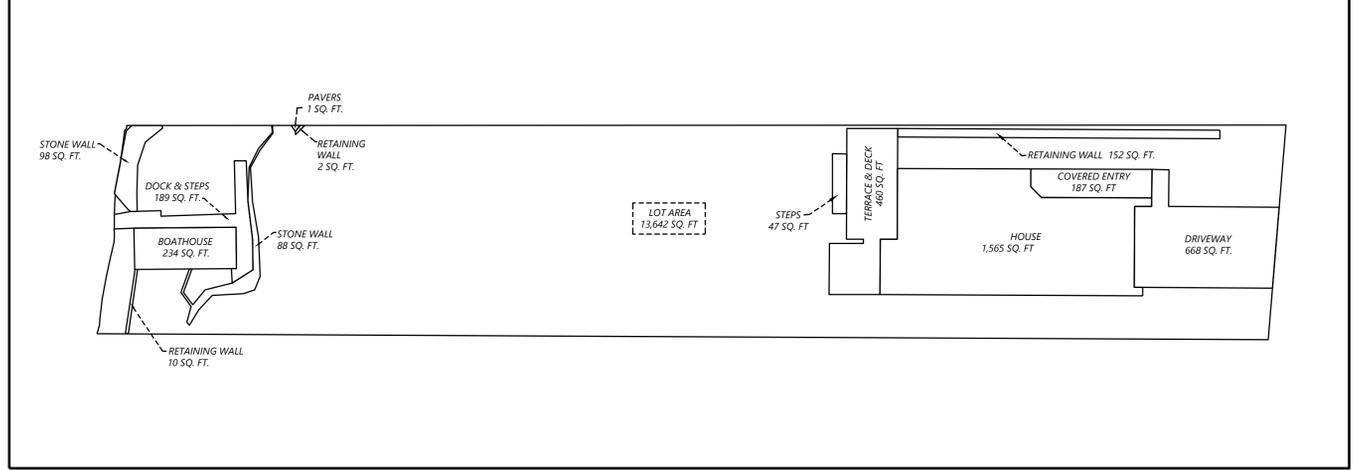
IMPERVIOUS SURFACE CALCULATIONS

Subject property contains 13,642 Sq.Ft. or 0.313 acres as calculated to the Ordinary High Water Line (929.4)

Existing Impervious Surface Calculations
 Building area = 235 sq. ft.
 Stairs area = 46 sq. ft.
 Pavers area = 115 sq. ft.
 Existing Driveway area = 34 sq. ft.
 Shed area = 79 sq. ft.
 Impervious area = 509 sq. ft. / 3.7% of total of lot area

Proposed Impervious Surface Calculations
 Boathouse area = 234 sq. ft.
 Dock & Steps area = 189 sq. ft.
 Walls = 350 sq. ft.
 Proposed House area = 1,565 sq. ft.
 Proposed Driveway & Sidewalk area = 668 sq. ft.
 Proposed Covered Entryway area = 187 sq. ft.
 Proposed Deck & Terrace area = 507 sq. ft.
 Terrace & Deck Steps = 47 sq. ft.
 Impervious area = 3,747 sq. ft. / 27.4% of total of lot area

PROPOSED IMPERVIOUS SURFACE DETAIL



CHECKED:	BRP
DRAWN:	BYJ
FIELD CREW:	JDF
FIELD WORK DATE:	10/03/19

INITIAL ISSUE:	
REVISIONS:	
10-22-2019	Add slope percentages, OHW and Flood Contours
05-18-2020	Add proposed house location

PREPARED FOR:
Laurie Burnett
Mound, Minnesota

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

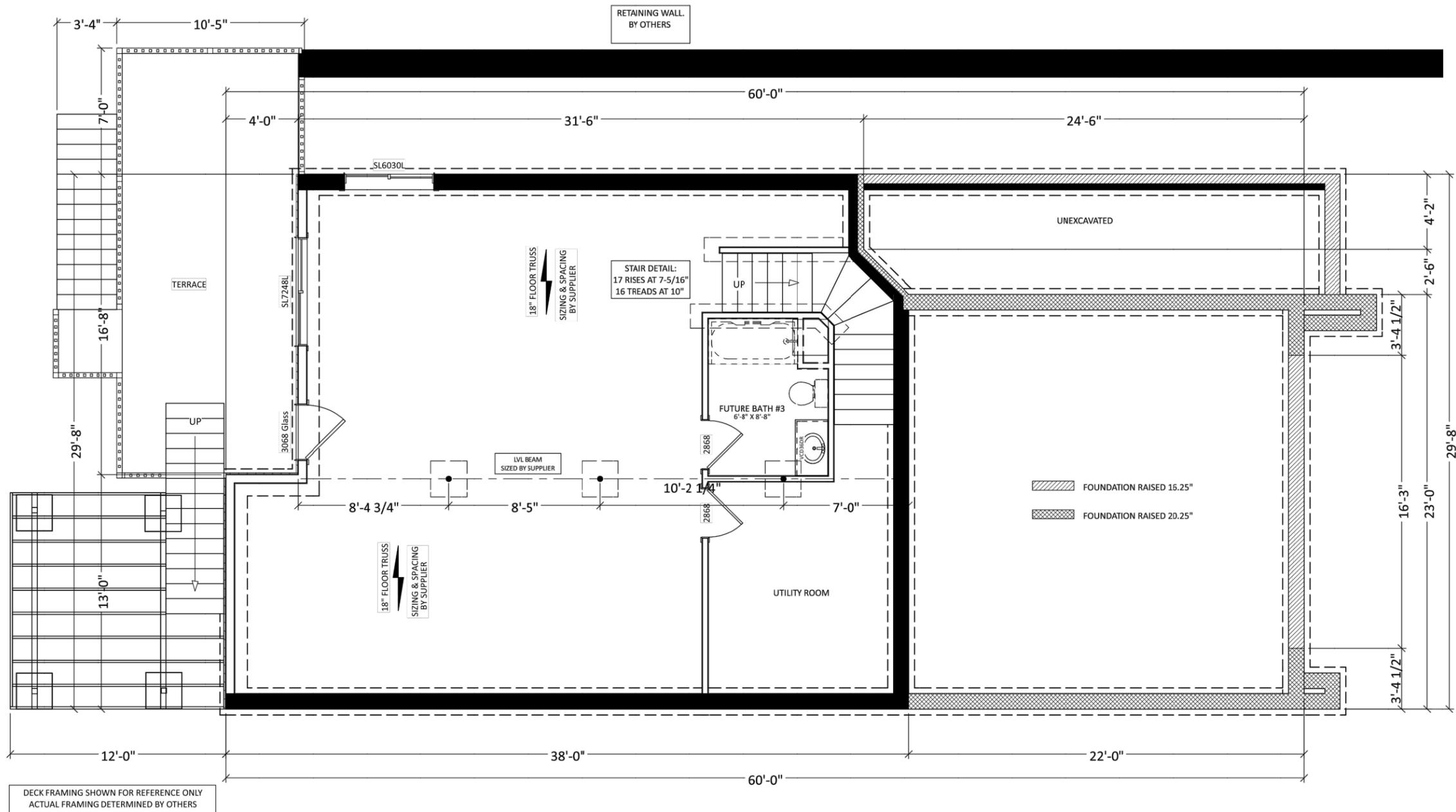
Brent R. Peters
Brent R. Peters, Land Surveyor
DATE: August 13, 2020 LICENSE NO. 44123

3325 WARNER LANE
Mound, Minnesota

Westwood
Phone (952) 937-5150 12701 Whitewater Drive, Suite #800
Fax (952) 937-9922 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

Boundary and
Topographic Survey

SHEET NUMBER:
1 OF 1



1. THIS DRAWING IS TO PROVIDE THE MASON OR OTHER RESPONSIBLE CONTRACTOR WITH THE PROPER FOUNDATION DIMENSIONS. IT IS HIS RESPONSIBILITY TO ENSURE THAT THE FOUNDATION IS CONSTRUCTED IN ACCORDANCE WITH APPLICABLE CODES AND SOIL CONDITIONS.
2. HEIGHT OF FOUNDATION AND COLUMN SPACING AS SHOWN ARE CRITICAL. IF CHANGES ARE MADE, THEY MUST BE REPORTED IMMEDIATELY TO THE ENGINEERING DEPARTMENT.
3. ALL FOUNDATION FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AT A MINIMUM DEPTH OF 4'-0" BELOW GRADE (DEPENDING ON LOCAL FROST CONDITIONS).
4. VENTING AREA OF BASEMENT WINDOWS SHALL BE 1% OF THE BASEMENT FLOOR AREA (2% FOR BOCA CODES). COMBUSTION AIR FOR HEATING EQUIPMENT AND FOUNDATION INSULATION TO BE IN ACCORDANCE WITH APPLICABLE CODES.
5. FOR CRAWLSPACE FOUNDATIONS, THE MASON CONTRACTOR IS TO PROVIDE AN 18" x 24" ACCESS TO THE CRAWLSPACE AND VENTILATION AT THE RATE OF 1/150 OF THE CRAWLSPACE AREA. COVER CRAWLSPACE WITH 6 MIL. POLY FILM.

FOUNDATION / LOWER LEVEL PLAN
 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)
 Finished Square Footage: 672 SF
 9'-0" SUPERIOR WALL HEIGHT
 Dimensions are Framing to Framing
 Headers or Beams sized by Supplier



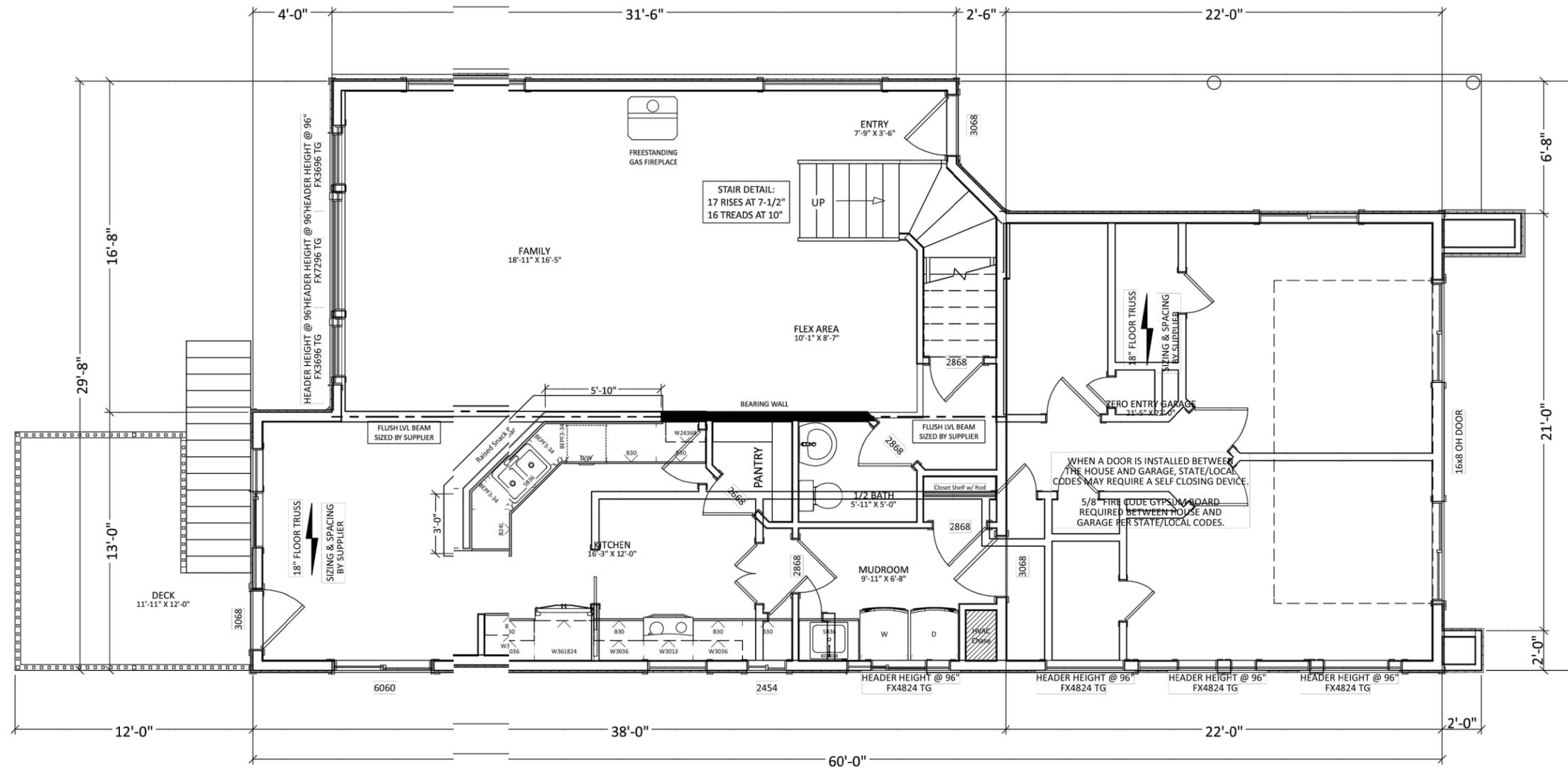
Lower Level Floor Plan
 Variance Submittal

Burnett Residence
 3325 Warner Lane,
 Mound, MN

Wausau Homes Anoka
 2850 Cutters Grove Ave
 Anoka, MN 55303
 763-244-4519
 zeckmeisterb@wausauhomes.com

DATE:
 08-11-2020
 DRAWN BY:
 TO
 SHEET:
A-1

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1ST FLOOR PLAN
 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)

Floor Square Footage: 1058
 Garage Square Footage: 506

9'-1 1/8" Wall Heights (u.n.o.)
 94-7/8" Header Height (u.n.o.)
 Dimensions are Framing to Framing
 Headers sized by Supplier



Wausau Homes Anoka
 2850 Cutters Grove Ave
 Anoka, MN 55303
 763.244.4519
 zeckmeisterb@wausauhomes.com

DATE:
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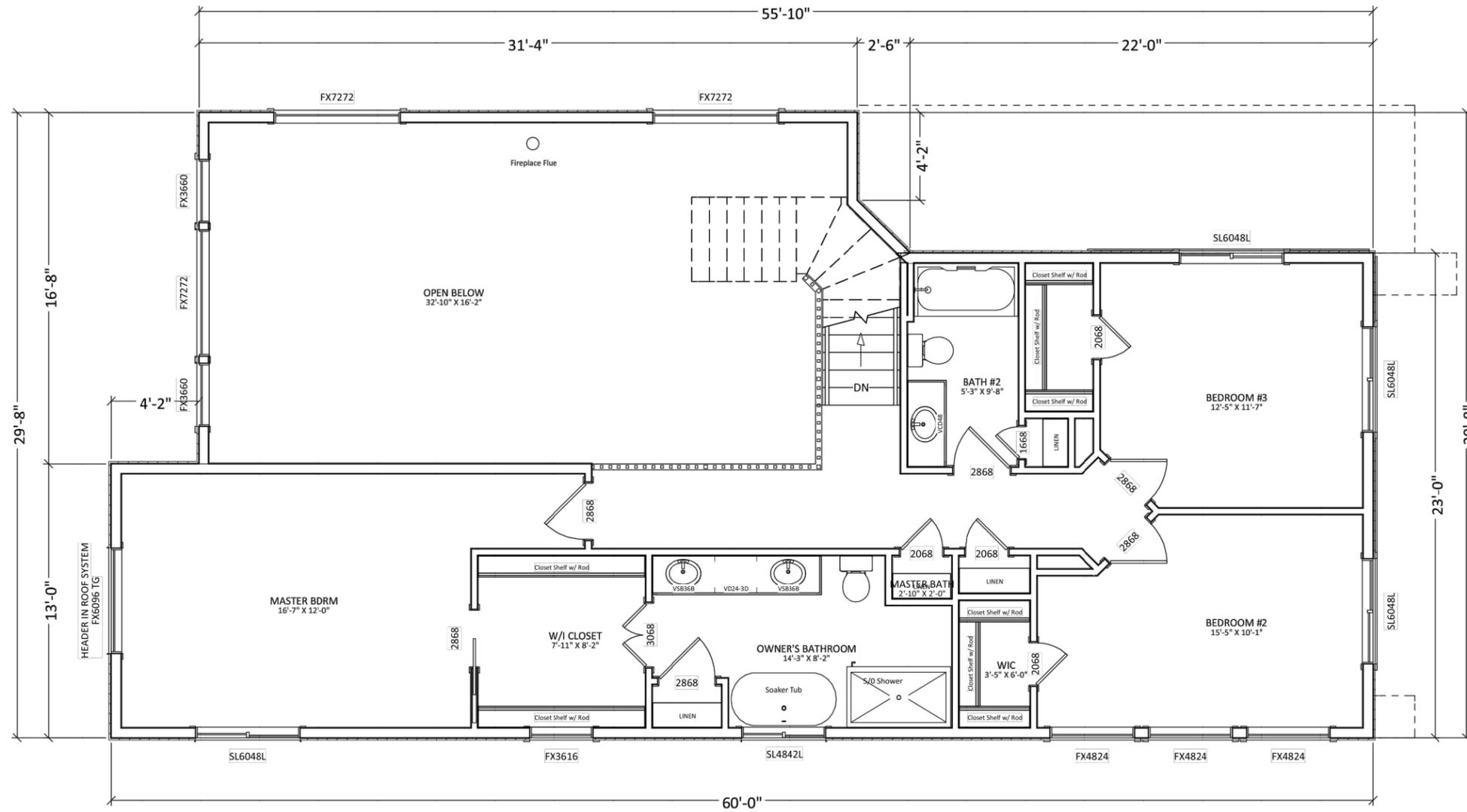
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SHEET:
A-2

Burnett Residence
 3325 Warner Lane,
 Mound, MN

First Floor Plan
 Variance Submittal

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2ND FLOOR PLAN
 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)

Floor Square Footage: 1016

8'-1 1/8" Wall Heights
 82'-7/8" Header Height
 Dimensions are Framing to Framing
 Headers sized by Supplier



Wausau Homes Anoka
 2850 Cutters Grove Ave
 Anoka, MN 55303
 763.244.4519
 zeckmeisterb@wausauhomes.com

DATE:
08-11-2020

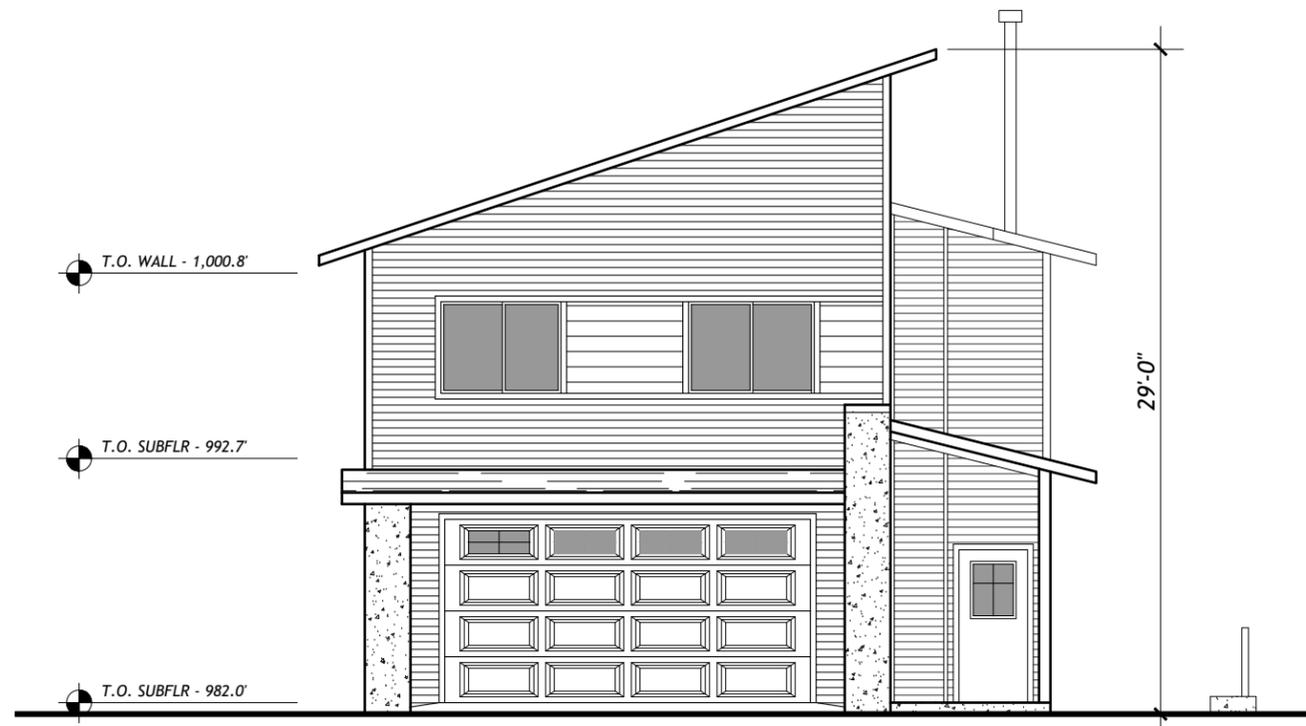
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A-3

Burnett Residence
 3325 Warner Lane,
 Mound, MN

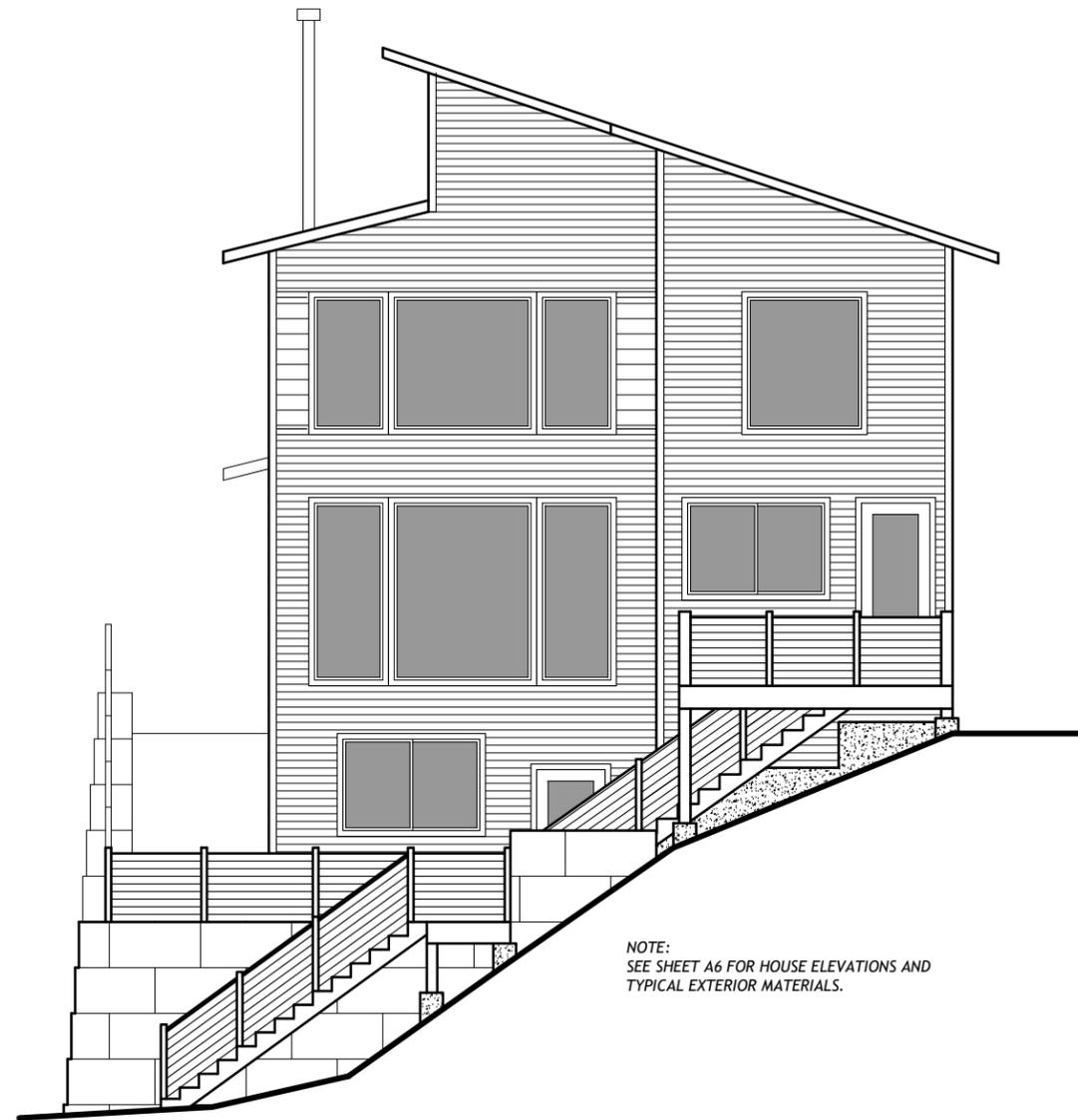
Secondl Floor Plan
 Variance Submittal

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NOTE:
SEE SHEET A6 FOR HOUSE ELEVATIONS AND
TYPICAL EXTERIOR MATERIALS.

1 EAST ELEVATION
Scale - 1/8" = 1'-0" (11X17)
1/4" = 1'-0" (22X34)



2 WEST ELEVATION
Scale - 1/8" = 1'-0" (11X17)
1/4" = 1'-0" (22X34)

Burnett Residence
3325 Warner Lane,
Mound, MN

East & West Elevations
Variance Application

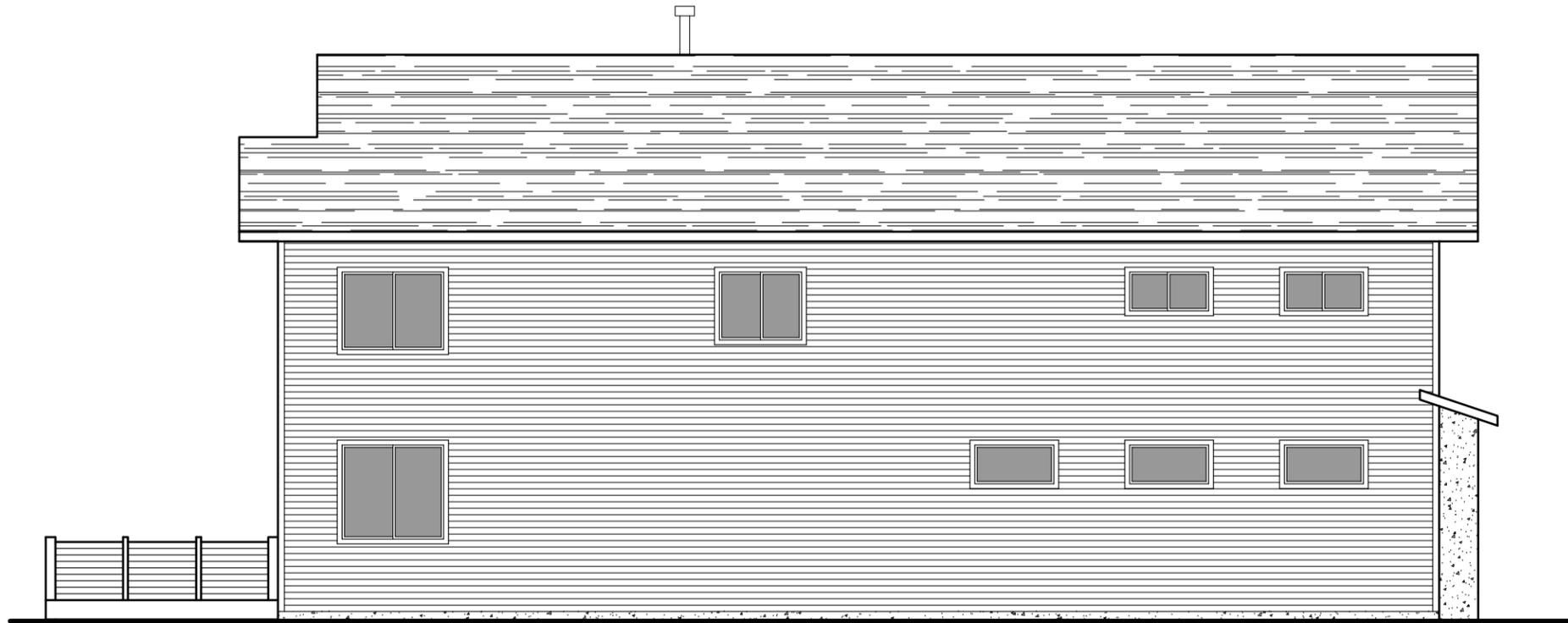
Wausau Homes Anoka
2850 Cutters Grove Ave
Anoka, MN 55303
763.244.4519
zeckmeisterb@wausauhomes.com

DATE:
08-11-2020

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SHEET:
A-4

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NOTE:
SEE SHEET A6 FOR HOUSE ELEVATIONS AND
TYPICAL EXTERIOR MATERIALS.

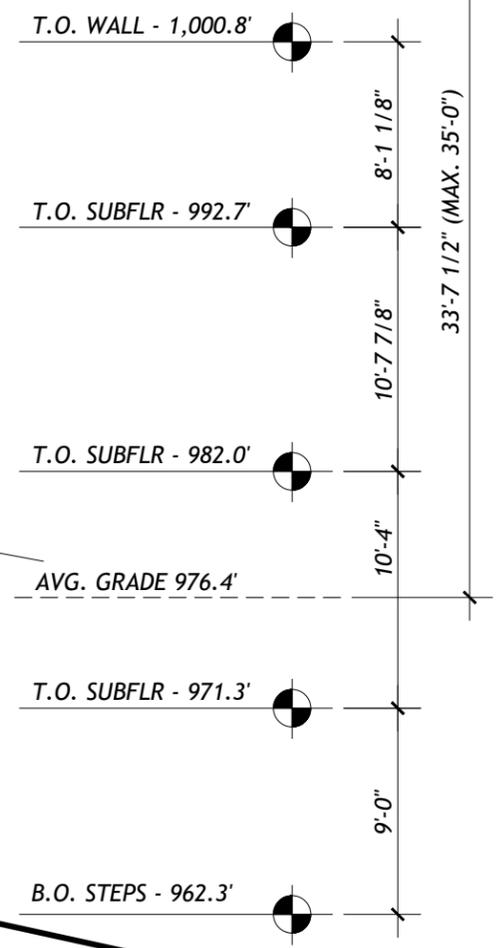
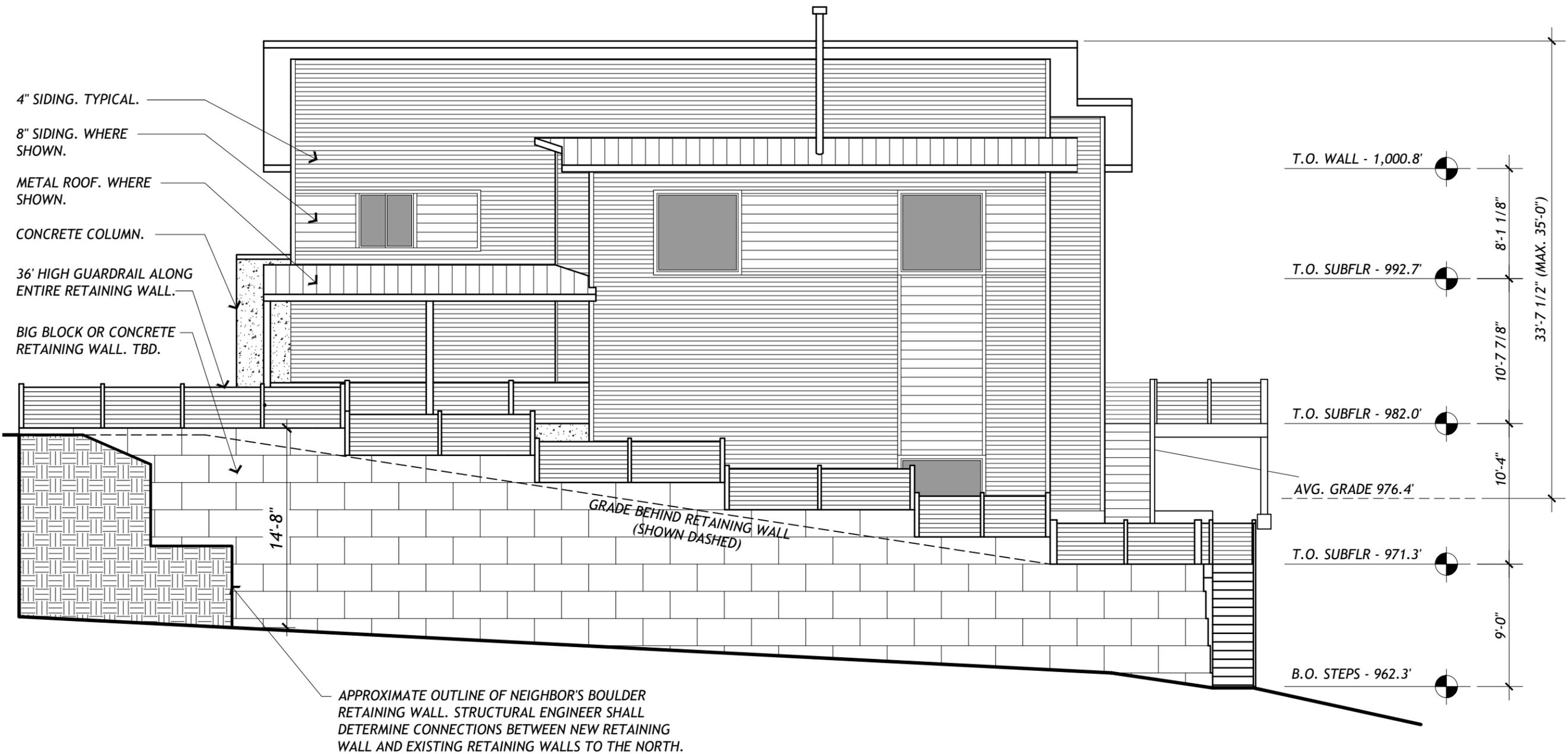
1 SOUTH ELEVATION
Scale - 1/8" = 1'-0" (11X17)
1/4" = 1'-0" (22X34)

Burnett Residence	South Elevation
3325 Warner Lane, Mound, MN	Variance Application

Wausau Homes Anoka
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Anoka, MN 55303
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zeckmeisterb@wausauhomes.com

DATE:	08-11-2020
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SHEET:	A-5

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APPROXIMATE OUTLINE OF NEIGHBOR'S BOULDER RETAINING WALL. STRUCTURAL ENGINEER SHALL DETERMINE CONNECTIONS BETWEEN NEW RETAINING WALL AND EXISTING RETAINING WALLS TO THE NORTH.

1 NORTH ELEVATION
 Scale - 1/8" = 1'-0" (11X17)
 1/4" = 1'-0" (22X34)

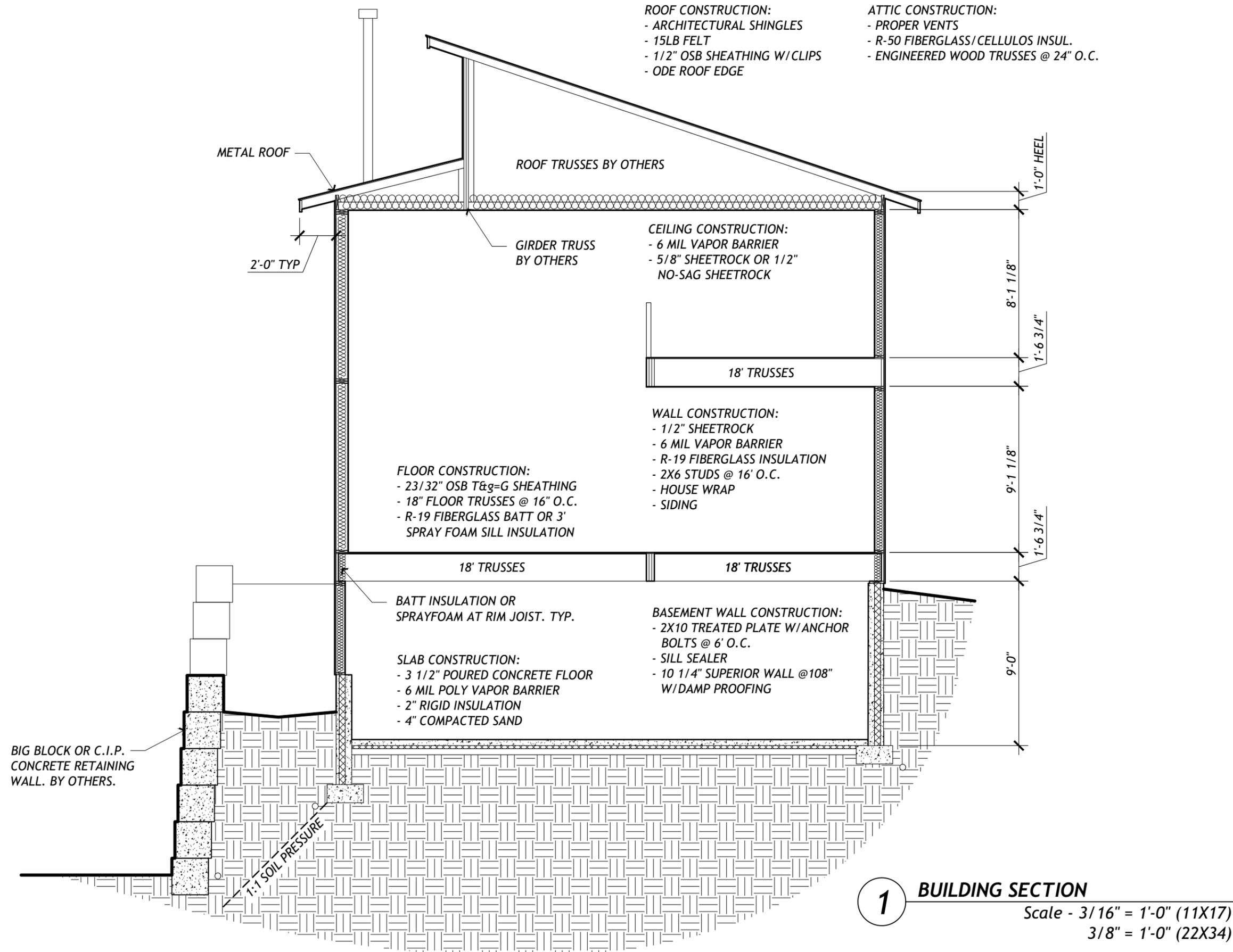
North Elevation
 Variance Application
Burnett Residence
 3325 Warner Lane,
 Mound, MN

Wausau Homes Anoka
 2850 Cutters Grove Ave
 Anoka, MN 55303
 763.244.4519
 zeckmeisterb@wausauhomes.com

 Redefining the Building Experience

DATE:
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Burnett Residence
 3325 Warner Lane,
 Mound, MN

Building Section
 Variance Application

Wausau Homes
 Redefining the Building Experience

Wausau Homes Anoka
 2850 Cutters Grove Ave
 Anoka, MN 55303
 763.244.4519
 zeckmeisterb@wausauhomes.com

DATE:
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