



2415 Wilshire Blvd
 Mound, MN 55364
 Phone 952-472-0607
 Fax 952-472-0620

BUILDING PERMIT

Handout Given _____

Lead Handout Given _____

SITE ADDRESS: _____ **PID:** _____

- 1) Was the home constructed before 1978? (YES , continue with line 2, NO continue without completing EPA Section)
- 2) Will the work disturb ≥6 sq ft of interior painted surfaces or ≥20 sq ft of exterior painted surfaces? (YES go to line 4, NO line 3)
- 3) Are there any windows being replaced? (YES , go to line 4, NO continue without completing EPA Section)
- 4) Has this home been Certified Lead Free? (YES , you MUST Attach Certification Information, NO complete line 5)
- 5) EPA Contractor Certification Number: **NAT** -

PROPERTY OWNER: _____ **Address:** _____

City: _____ State: _____ Zip: _____ Email: _____

Contact Name: _____ Phone: _____

CONTRACTOR: _____ **Address:** _____

City: _____ State: _____ Zip: _____ Phone: _____ Fax: _____

Contractor License No: _____ **Contact Name:** _____ **Phone:** _____

Email: _____

ARCHITECT: _____ **Address:** _____

City: _____ State: _____ Zip: _____ Phone: _____ Fax: _____

Email: _____ **Contact Name:** _____ **Phone:** _____

TYPE OF WORK:
 Commercial Residential
 New Construction Deck Window/Door Alteration
 Change of Use Pool # being replaced _____
 Finish Basement Retaining Wall
 Remodel Porch Misc Other
 Addition Demolition
 Garage-Attached/Detach Misc Other
 Accessory Structure

EST. VALUATION OF WORK
 \$ _____

_____ Square feet:

Detailed Description of Work: _____

Signature of this application by the legal property owner or a licensed contractor, as the owner's representative, is required and authorizes the Zoning Administrator or designee and the Building Official or designee to enter upon the property to perform needed inspections. Entry may be without prior notice. I hereby acknowledge that I have read this application and state that all information is true and correct to the best of my knowledge. I further agree that all work performed will be in accordance with approved plans, specifications and conditions and to abide by all ordinances of the Municipality and the laws of the State of Minnesota regarding actions taken pursuant to this permit. I agree to pay all plan review fees even if I choose not to proceed with the work. Permit expires when work is not commenced within 180 days from date of permit, or if work is suspended, abandoned, or not inspected for 180 days. Work beyond the scope of this permit, or work without a permit or inspection, will be subject to a penalty.

SIGNATURE OF APPLICANT: _____ **DATE:** _____

PRINTED NAME: _____ Owner Contractor Owner's Representative

OCCUP. TYPE: _____ **CONST. TYPE:** _____ **CODE:** _____ **BLDG SPRINKLED** Yes / No

VALUATION: \$ _____ **COPIED** _____ **APPROVED** _____

Permit Fee: \$ _____					
Plan Review Fee: \$ _____					
State Surcharge: \$ _____					
Site Inspection Fee: \$ _____					
S.E.C. Fee: \$ _____					
Investigation fee / Other Fee: \$ _____					
Copy Charge (\$.25 per 8.5 x11 page) \$ _____					
License Check (\$5) / Lead Check (\$5) \$ _____					
Sub Total \$ _____					

Special Conditions/Required Setbacks: _____

Building Approval By: _____ **DATE:** _____

Printed Building Approval By: _____ License Verification Lead Verification - Checked By: _____

City Approval By: _____ **DATE:** _____

Information supplied on this form will be considered public according to the MN Government Data Practices Act.
 See reverse side for an important statement regarding Indian Mounds.

TO BE FILLED OUT BY APPLICANT - INCOMPLETE APPS MAY NOT BE PROCESSED

OFFICE USE ONLY

Supplemental Information for Building Permits Indian Mounds and Earthwork Sites

Historic Indian burial mounds and/or earthwork sites have been discovered in and around the City of Mound. While many of the sites have been severely impacted by development over the years, they do receive protection under state law. **Penalties are imposed for unauthorized disturbance of Indian burial mounds.** Additional information may be obtained through the Minnesota State Archeologist.

Any formal investigation of a site, including a determination of whether a mound or burial area exists on a subject site, is the responsibility of the property owner or developer. The issuance of permits by the City to do work on a site **does not** relieve the owner or developer of that responsibility.

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HARDCOVER CALCULATIONS

(IMPERVIOUS SURFACE COVERAGE)

PROPERTY ADDRESS _____

OWNER'S NAME: _____

LOT AREA _____ SQ. FT. X **30%** = (for all lots)

LOT AREA _____ SQ. FT. X **40%** = (for Lots of Record)

* Existing Lots of Record may have 40 percent coverage provided that techniques are utilized, as outlined in Zoning Ordinance Section 129-385 (see back). A plan must be submitted and approved by the Building Official.

	LENGTH	X	WIDTH	=	SQ FT
HOUSE	_____	X	_____	=	_____
	_____	X	_____	=	_____
TOTAL HOUSE					_____
DETACHED BUILDINGS	_____	X	_____	=	_____
(GARAGE/SHED)	_____	X	_____	=	_____
TOTAL DETACHED BUILDINGS					_____
DRIVEWAY, PARKING	_____	X	_____	=	_____
AREAS, SIDEWALKS,	_____	X	_____	=	_____
ETC.	_____	X	_____	=	_____
TOTAL DRIVEWAY, ETC					_____
DECKS Open decks (1/4" min.	_____	X	_____	=	_____
Opening between boards) with a	_____	X	_____	=	_____
pervious surface under are not	_____	X	_____	=	_____
counted as hardcover.	_____	X	_____	=	_____
TOTAL DECK					_____
_____	X	_____	=	_____	
_____	X	_____	=	_____	
TOTAL OTHER					_____
TOTAL HARDCOVER/ IMPERVIOUS SURFACE					_____

UNDER/ OVER (indicate difference)

PREPARED BY _____

DATE _____

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DETACHED GARAGES

PERMIT REQUIREMENTS

A permit is required for construction or installation of any detached garage or accessory building of 200 square feet or more in floor area. Accessory buildings, regardless of size, are subject to setback requirements. **Driveway is required to be paved when a new garage or new home is constructed.**

REQUIRED INFORMATION WHEN APPLYING FOR A PERMIT

A completed building permit application

Supplement to Detached Garage Permit Application - must be included

"Property Owner as Building Permit Applicant" form (if applicable)

Hardcover calculation worksheet

Rules related to wetlands, floodplain and erosion control are under the jurisdiction of the MCWD. You are directed to contact the MCWD (952-471-0590) related to applicable permits that may be needed to undertake your project. **The building permit will not be released until the City is provided a copy of the MCWD permit(s) and/ or receipt of written/email confirmation from the MCWD that no permit is needed for the project.**

Two copies of a Certificate of Survey of the property (see attached survey requirements) or an accurate, scaled drawing of the property including the following:

- Lot dimensions
- Location and size of existing and proposed buildings
- Distance of structures from property lines
- Location of bluffs and shorelines when applicable

Two copies of drawings showing proposed designs and materials, drawn to scale and including the following information. (Lumberyard standard garage plans may also be used.)

- **Floor Plan** indicating the proposed garage size, size of headers over openings, size and spacing of roof rafters/trusses
- **Cross-Section** view indicating the depth of concrete slab and perimeter bearing, size and spacing of anchor bolts, pitch of roof, size and spacing of roof rafters/trusses, type(s) of sheathing and siding material, size and spacing of studs, ceiling height
- **Elevations** indicating the height of structure from established grade, type of roof covering materials, type of exterior wall covering
- **Braced Wall** plans indicating wall line(s) and braced wall panel type(s) and length(s)
- **Additional Information** may be required by the plan reviewer.
- Attached are examples of drawings that are intended as a GUIDE. If your accessory structure/garage is similar in design, you may use the attached plans by filling in the blanks.

Note: A detached garage that encloses conditioned space must meet the requirements of the MN Residential Energy Code. All materials and the installation of all materials must comply with the MN State Building Code and the manufacturers' installation specifications for each product.

MN SPECT_{LLC}

COMPLIANT

PHONE: 952-442-7520
FAX: 952-442-7521
EMAIL: info@mnpe.com

DEFINITIONS

Lakeshore Lot: A lot abutting public waters or abutting public lands abutting public waters with the exception of designated parks.

Through Lot: A lot which has a pair of opposite lines abutting two substantially parallel streets, and which is not a corner lot. On a through lot, both street lines shall be front lines for applying this Ordinance.

SETBACK REQUIREMENTS

In all single and two-family residential districts, detached garages have the following setbacks:

Front Yard

- A minimum (20) feet front yard setback (measured from the property line, not the curb edge) for R-1A and R-2 zoning districts and (30) feet in R1 districts if the garage door faces the street (see diagram A).
- For lakeshore or through lots, if the garage door faces the side lot line, an (8) feet front yard setback (measured from the property line, not the curb edge) is required (see diagram 8.)

Rear Yard

A 4-foot setback is required from the rear property line.

Side Yard

Each parcel has individual requirements. Contact City Hall for side yard setbacks.

Other Structures

Detached garages must be set away from other structures a minimum of (6) feet or a firewall must be constructed.

Garages, Sheds and Other Buildings

A 50-foot setback is required from the ordinary high water level (OHWL) of all lakes.

Garage Setback Diagrams

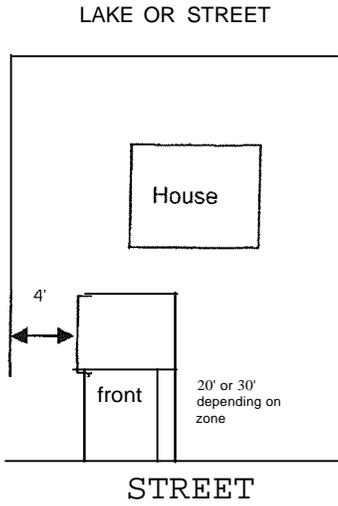


Diagram A- Lakeshore
or Through Lot

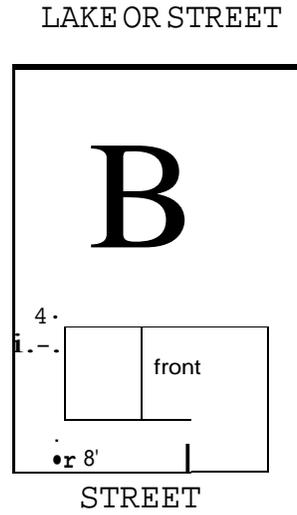


Diagram B- Lakeshore or
Through Lot

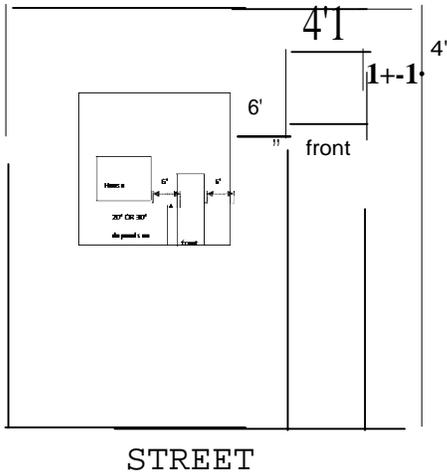


Diagram C- Typical Lot

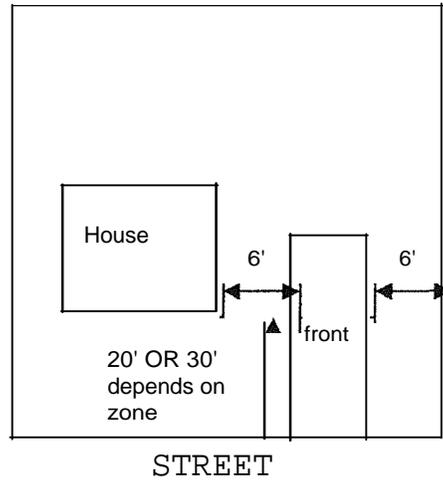


Diagram D- Typical Lot

HEIGHT REQUIREMENTS

No detached garage shall exceed the height of the principal building.

SIZE AND NUMBER

- 1. Maximum allowable area** of a detached, private garage is 1,200 square feet. Maximum allowable area of ALL accessory buildings combined (sheds and garages) is 3,000 square feet or 15% of the lot area, whichever is less.
- 2. Maximum impervious surface coverage** of ALL buildings, driveways, walks, patios, etc. may not exceed 30 percent of the lot area. On existing lots of record, impervious coverage may be permitted up to a maximum of 40 percent consistent with the provisions identified in the Zoning Ordinance.
- 3. Total number of garages/ accessory buildings** for lots measuring 10,000 square feet or less is two (2). For lots exceeding 10,000 square feet, no more than three (3) garages/accessory buildings may be on a lot.

FOOTINGS AND FOUNDATION

See attached

REQUIRED INSPECTIONS

Call 952-472-0607 to make an appointment. All inspection requests require a 24-hour notice. Required inspections are as follows:

Garages

1. Footing/Slab inspection after forms and reinforcing are in place, but prior to placing the concrete (setbacks are checked at this time)
2. Framing inspection once the roof, all framing, and bracing are in place; after the rough electrical (if any) is approved, but prior to the application of any insulation or siding materials.
3. A final inspection when the work is completed

Sheds - final inspection only

IT WILL TAKE APPROXIMATELY 7 TO 10 BUSINESS DAYS TO GET A PERMIT ONCE THE PLANS AND APPLICATION HAVE BEEN SUBMITTED, DETERMINED TO BE COMPLETE AND PASSED ZONING REVIEW.

General Building Code Requirements

1. Must provide unobstructed headroom of 7 feet.
2. Floor surfaces shall be of noncombustible materials (Detached Garage).
3. The minimum thickness of concrete floor slabs supported directly on the ground shall not be less than three and one-half (3 1/2) inches.
4. All stumps, roots, and black dirt shall be removed from the soil to depth of at least twelve (12) inches below the surface of the ground if concrete slab is used.
5. One-half inch diameter anchor bolts spaced six (6) feet on center maximum spaced around perimeter of slab with a seven-inch (7 inches) minimum embedment. (If curb blocks are used they must be a minimum of 6 inches)
6. There shall be a minimum of two (2) bolts per piece with one (1) bolt located not more than 12 inches from each end.
7. Minimum six (6) inches clearance between ground and non-treated wood.
8. Roof framing must be designed for 35 pound snow load
9. Caulk and flash all exterior openings.
10. Exterior walls of detached garages within 6 feet of dwelling or 5 feet of the property line shall be fire protected with one-hour fire resistive construction.
11. Accessory Buildings having framed floor systems shall be of treated material. This includes the floor framing system and floor sheathing.

Note: the requirements noted above represent general code requirements relative to Accessory Buildings. For specific code and zoning requirements, please contact the Building Inspection Department or Zoning Department at your local city hall. Some Cities require any size shed to be anchored.

General Notes

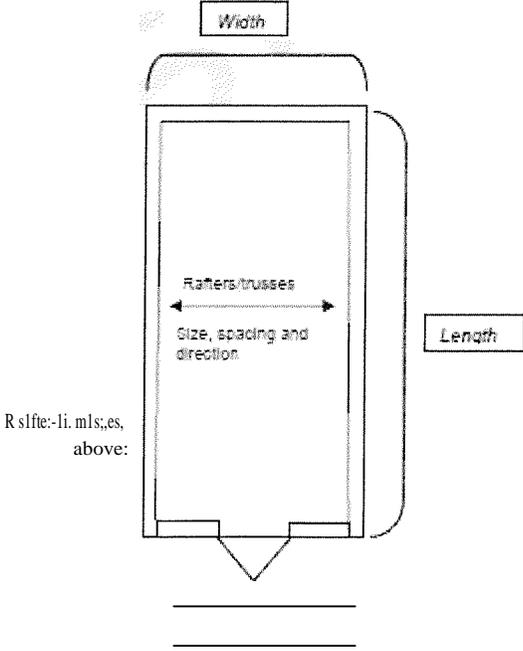
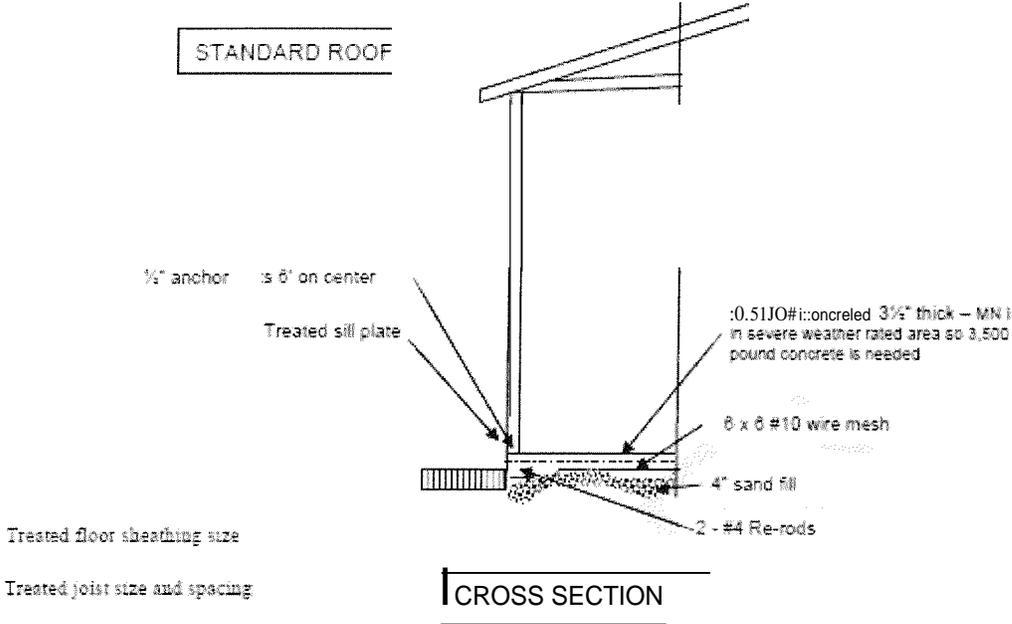
1. The approved Plan and Survey shall be kept on the job site until the final inspection has been made.
2. The Inspection Record Card shall be placed on the outside exterior wall of the garage and shall remain posted until the final inspection has been made. Cards should be protected from the weather.
3. Post Address on construction site visible from the street.

The State of Minnesota requires that all residential building contractors, remodelers and roofers obtain a state license unless they qualify for a specific exemption from the licensing requirements. Any person claiming an exemption must provide a copy of a Certificate of Exemption from the Department of Commerce to the City before a permit can be issued.

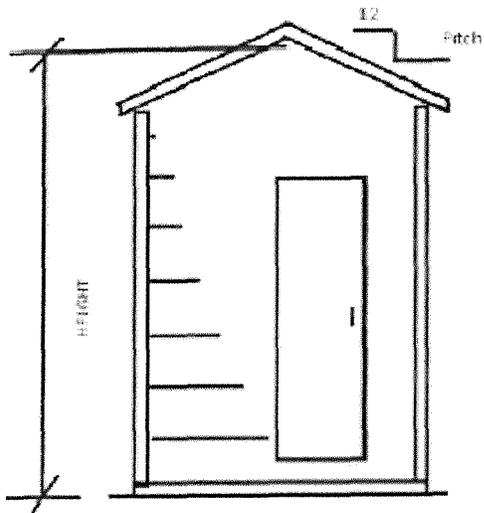
To determine whether a particular contractor is required to be licensed or to check on the licensing status of individual contractors, please call the Minnesota Department of Commerce at 651-296-2594 or toll free 1-800-657-3602.

If you have any questions or need to schedule an inspection please call the Building Inspection Department at **(952) 442-7520 or toll free 1-888-446-1801** between 7:30 a.m. and 4:30 p.m. Monday through Friday.

Here are examples of drawings that are intended as a GUIDE. If your accessory structure/garage is similar in design, you may use the attached plans by filling in the blanks.

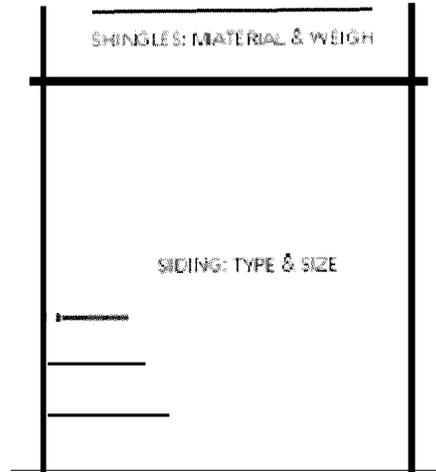


STANDARD ROOF



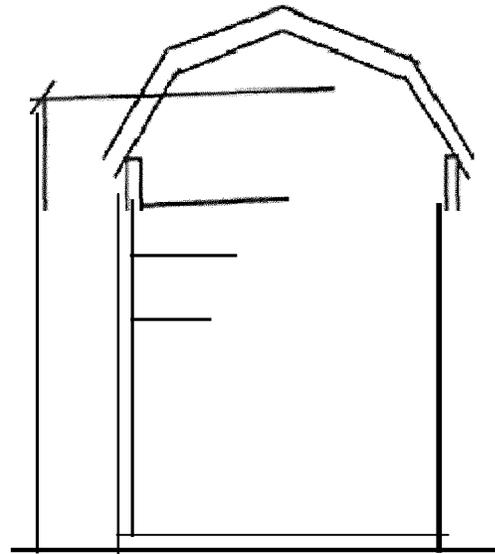
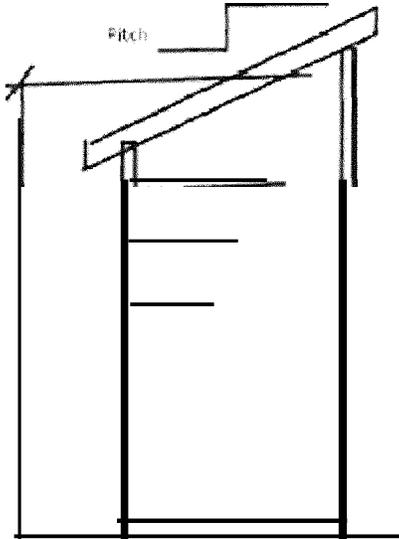
FRONT ELEVATION

SHINGLES: MATERIAL & WEIGHT

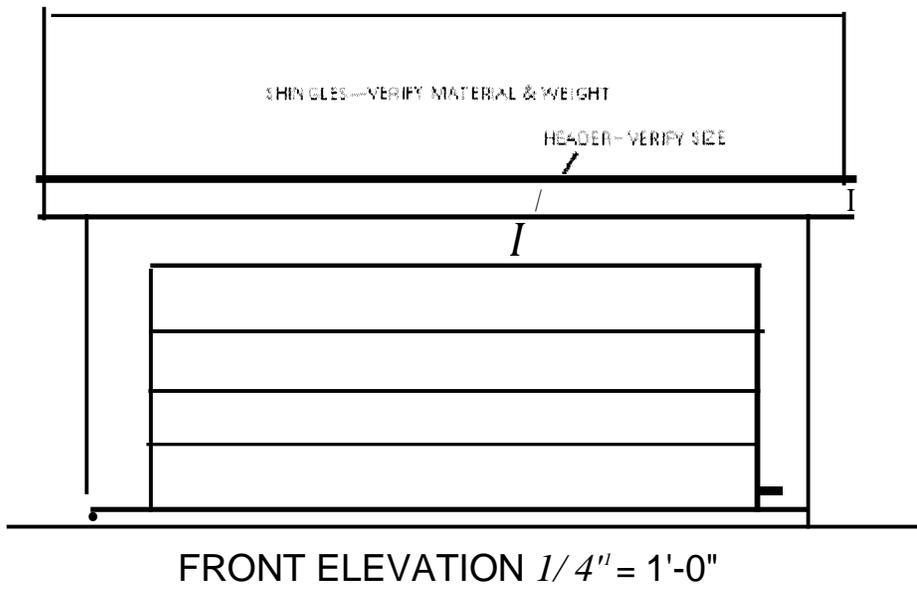
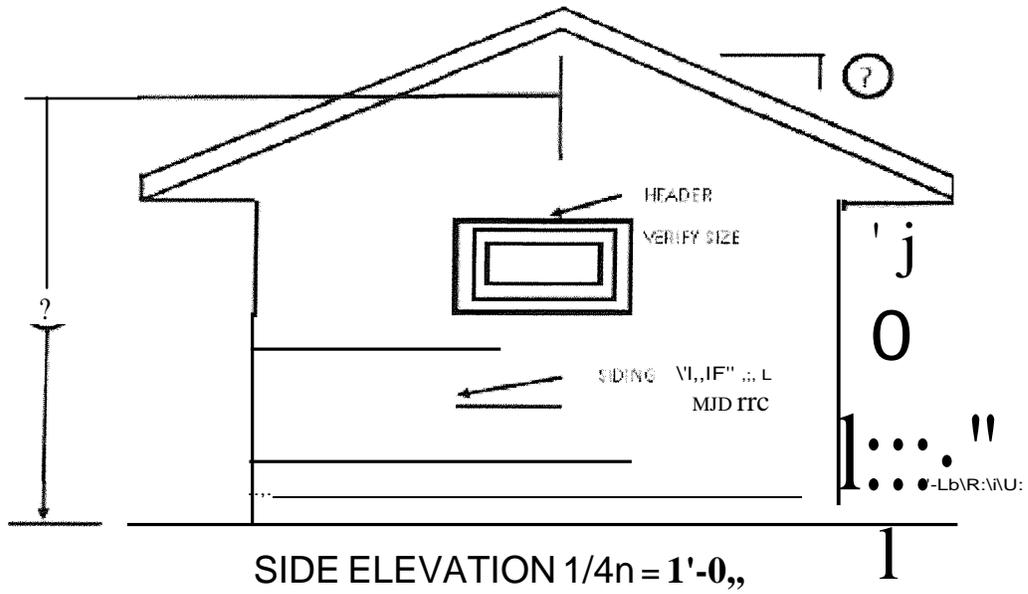


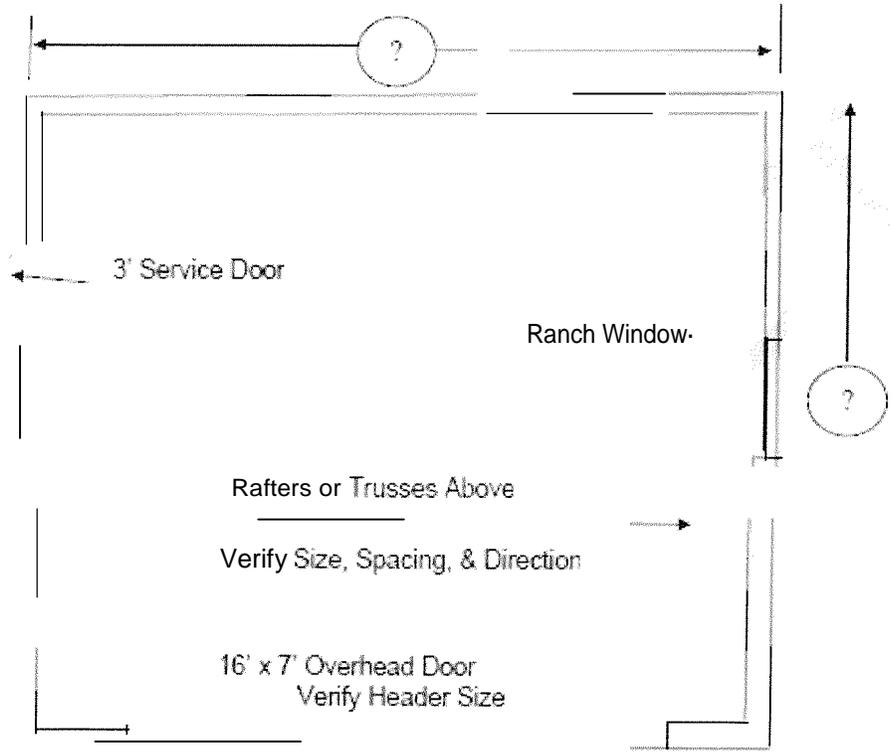
SIDE ELEVATION

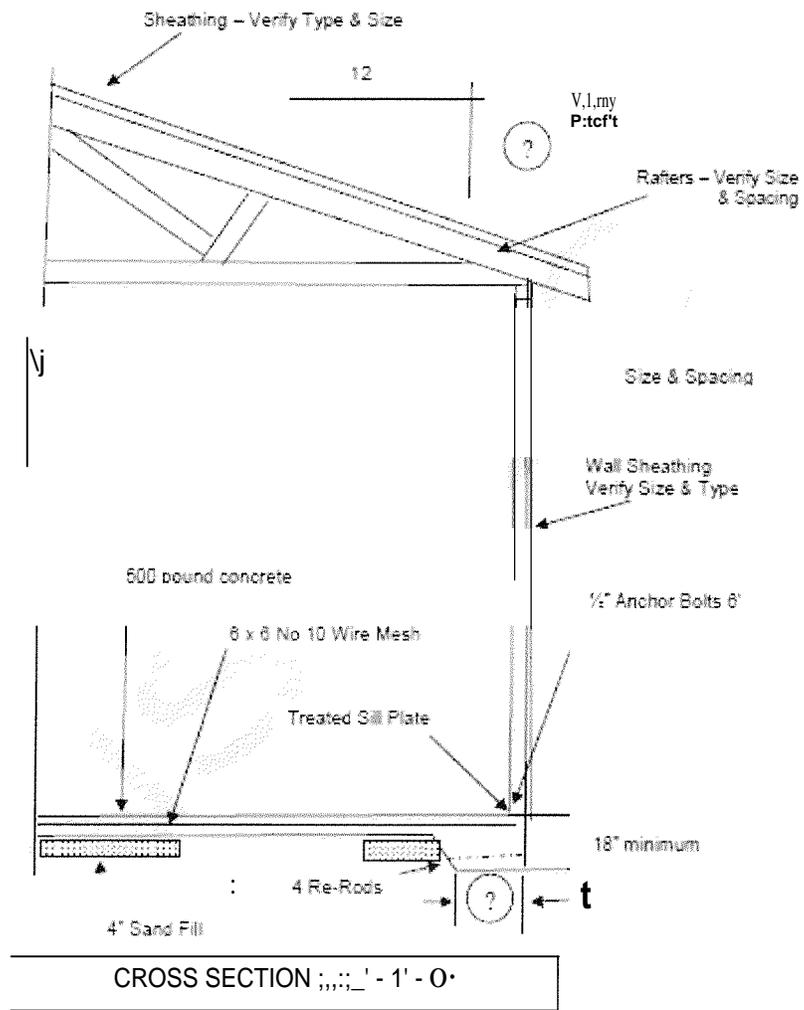
Pitch



11 rim;



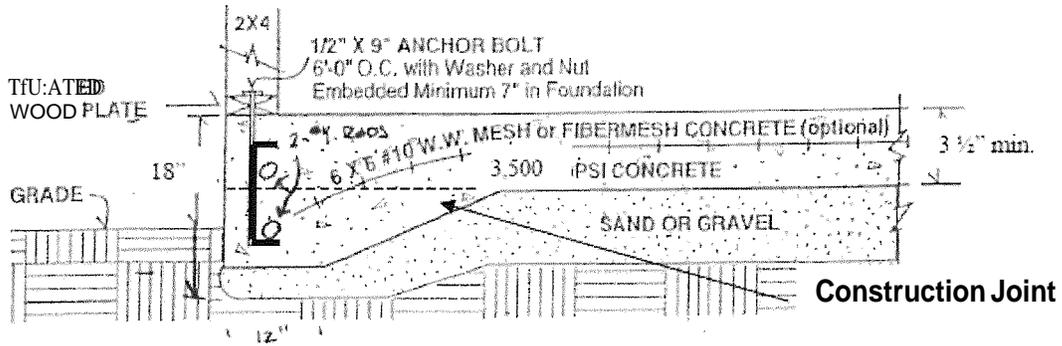




GARAGE Information Sheet

When slab and footing are not cast monolithically reinforcement must be installed according to below diagram:

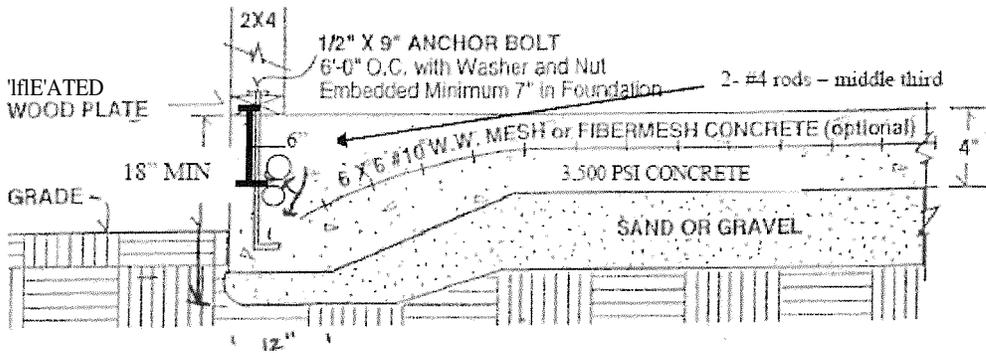
Slab-On-Grade for Detached Garages



GARAGE Information Sheet

Slab and footing poured monolithically two (2) #4 in the middle third of the footing depth

Slab-On-Grade for Detached Garages



ADDRESS _____

SUPPLEMENT to Detached Garage Permit Application
(MUST be included when applying permit)

- Size and spacing of footing _____
- 2. size and spacing of studs: _____
- 3. Type of lumber _____
Size of beams: _____
- 4. Size and spacing of rafters _____
- 6. Size of structure: _____

7. Distance from property lines:

1: _____
2: _____

8. Distance from house:

Side 1: _____
Side 2: _____

Other: _____

9. Total height _____

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SUMMARY OF HARDCOVER RULES

Excerpts from the Mound Zoning Ordinance

Section 129-2 Definitions

Impervious cover means any surface impervious or resistant to the free flow of water or surface moisture. The term "impervious cover" shall include, but not be limited to, all driveways and parking areas whether paved or not, tennis courts, sidewalks, patios and swimming pools. Open decks (one-quarter-inch minimum opening between boards) shall not be counted in impervious cover calculations.

Lot area, minimum, means the area of a lot in a horizontal plane bounded by the lot lines, but not including any area below the ordinary high-water level as determined by the city or department of natural resources. (The ordinary high-water level for major lakes in the city: Lake Minnetonka = 929.4; Dutch Lake= 939.2; Lake Langdon= 932.1.)

Section 129-196 Requirements applicable to all residential districts

(a) Lot coverage. Impervious surface coverage of lots in residential zones shall not exceed 30 percent of the lot area. On existing lots of record, impervious coverage may be permitted to up to a maximum of 40 percent consistent with the provisions identified in section 129-385(g)(2)a.

Section 129-385 Zoning - Shoreland Management

(2) Specific standards.

- a. Impervious surface coverage of lots in residential zones shall not exceed 30 percent of the lot area. On existing lots of record, impervious coverage may be permitted by a maximum of 40 percent providing that the following techniques are utilized as applicable:
 1. Impervious areas should be drained to vegetated areas or grass filter strips through the use of crowns on driveways, direction of downspouts on gutters collecting water from roof areas, etc.
 2. Dividing or separating impervious areas into smaller areas through the use of grass or vegetated filter strips such as the use of paving blocks separated by grass or sand allowing infiltration.
 3. Use grading and construction techniques which encourage rapid infiltration such as the installation of sand or gravel sump areas to collect and percolate stormwater.
 4. Install berms to temporarily detain stormwater thereby increasing soil absorption.
- b. Impervious surface coverage in lots in the business and industrial zones shall not exceed 30 percent of the lot area. In business and industrial zones that are included within areas covered by an approved stormwater management plan, impervious surface coverage shall not exceed 75 percent of the total lot area.